

Notes

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Revision	Date	By	Chkd
A Car park entrance off Gibbons Close	24.04.24	SM	JJ
B Survey information incorporated. Plans Developed with more detail.	21.05.24	SM	JJ
C East Wing Alterations	12.06.24	SM	JJ
D Sub Station Location Finalised	13.08.24	SM	JJ
E Trailing for fire service incorporated	04.09.24	SM	JJ
F Updates Gibbons close to reflect highway comments	26.02.25	JJ	
G LAYBY ADDED	07.03.25	EW	JJ

- Small visitor and staff car park to the front of the building.
- Some acoustic fencing required along boundary with The Black Prince. See Noise Survey and Boundary Treatment Plan for details.
- Secure pedestrian entrance for resident use.
- Bike store available for resident use
- General Store for storing outside play equipment and garden maintenance equipment
- Ground floor flats to have small private terraces fronting onto secure areas of the site.
- Existing secure perimeter fencing to be retained to back of building. See Boundary Treatment Plan for details.
- Area to be left clear to provide turning head for fire service vehicle. To be finished in contrasting material/colour to car park.

- Geotextile parking layby
- Refuse store for residents. 19m from road for collection.
- Formal path to be created along existing desire line.
- Fence to run alongside path. See Boundary Treatment Plan for details.
- Shared terrace space outside the communal lounge
- Ground floor flats to have small private terraces fronting onto secure areas of the site.
- Secure courtyard for resident use
- Ground floor flats to have small private terraces fronting onto secure areas of the site.
- Area hatched blue proposed for adoption.
- Gated vehicle access into resident parking.
- Bike storage available for resident use.
- Private resident parking.
- Existing gate giving access into the existing car park to be permanently locked.

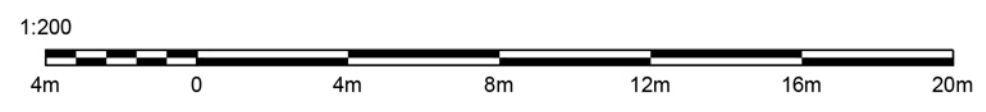
PLANNING

Client			
Project Faseman House Coventry			
CISfb Element			
Drawing Site Plan As Proposed			
Drawn by SM	Checked JJ		
Scale 1:200 @ A1	Dated April 2024		
Job No. 71809	Drawing No. D02	Revision G	

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Site Plan
As Proposed





Reception space with direct access into the offices.

Secure pedestrian entrance for resident use

Staff only spaces zoned and connected. Private staff facilities.

Interview/Support rooms in close proximity to staff spaces.

Main stair core with access off reception.

Secure bike store for resident use.

External store for play equipment and garden equipment.

West wing central corridor.

Private terraced gardens for ground floor flats.

Secure bike store for resident use.

Entrance recessed to create 600mm canopy and welcome into the building.

Entrance lobby with secure entry controlled at Reception.

Toilets and baby change for residents while in common areas.

Conference room and kitchen for resident use.

Reception and open social space for residents.

Refuse store for residents.

Entrance from courtyard into reception area. Allows secure access to courtyard and parking.

Communal lounge spaces for residents. Bifold doors to allow for flexibility in use of space and group numbers.

Glazed double doors connecting the lounge spaces with the external courtyard.

Corridor to private residences. Separated from communal areas.

Staircase with lift to allow easy access to flats in the East Wing.

Ground floor flats with private outdoor space.

Private entrance gate for flats in the East Wing

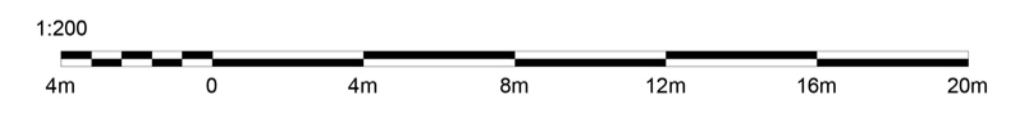
Secure vehicle entry to resident car park.

Secured central courtyard for shared resident use.

Courtyard entrance gate, fence separating courtyard from road and parking for safety.

Ground Floor

In Context



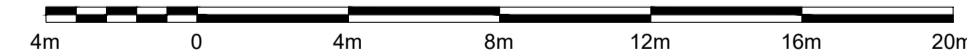
Key				
—		1 Bed Flat		
—		2 Bed Flat		
—		3 Bed Flat		
Accommodation Schedule				
1A	1B/2P	43sqm/463sqf	G1 G4 G5 G6 G7 G8 G9	07
1B	1B/2P	51sqm/sqf	G10	01
3A	3B/5P	73sqm/786sqf	G2 G3	02
Total				10



First Floor

In Context

1:200



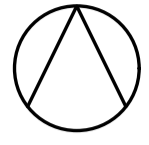
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Revision	Date	By	Chkd	CDM Notes
A	29.07.24	SM	JJ	

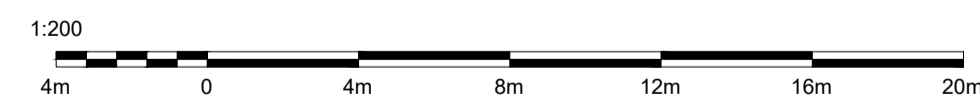
Project	Drawing	Client
Faseman House	General Arrangement Plans First Floor Plan In Context	

Scale	Dated	Job No.	Drawing No.	Drawn by	Checked	Ci/Sib Element	Revision
1:200	21.05.24	71809	D11	SM	JJ	Planning	A





Second Floor
In Context



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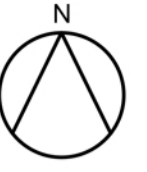
Revision	Date	By	Chkd	CDM Notes
-	-	-	-	-

Project Faseman House			
Scale 1:200	Dated 21.05.24	Job No. 71809	Drawing No. D12

Drawing General Arrangement Plans Second Floor Plan In Context		
Drawn by SM	Checked JJ	Ci/Sib Element Planning

Client	
Revision	-

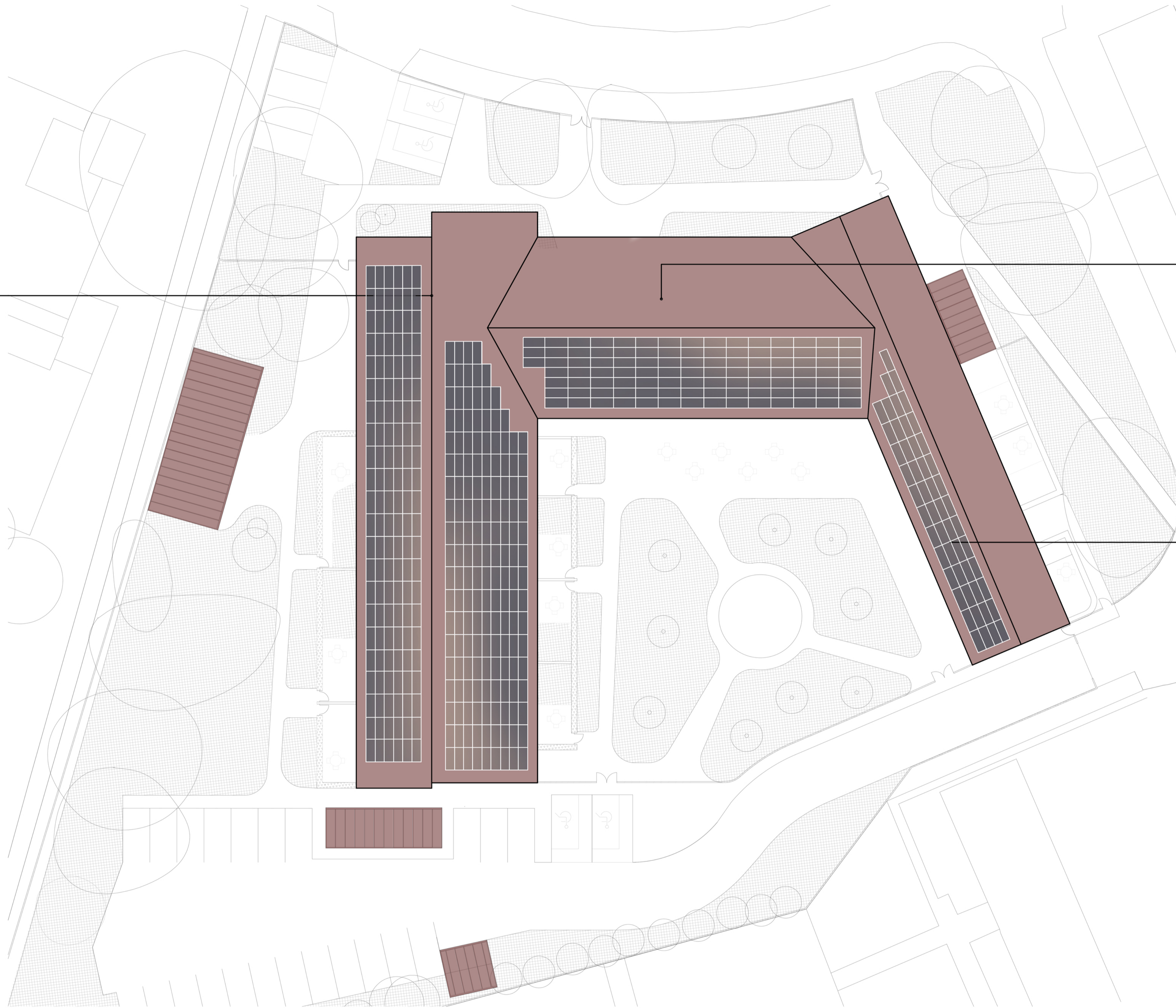




Split gable roof.

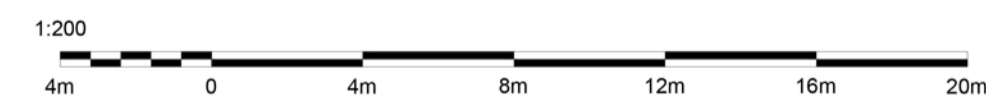
Roofs sloping to Faseman Avenue and Gibbons Close to be clear of solar panels.

900sqm solar panels facing South, West and East - into the courtyard.



Roof Plan

In Context



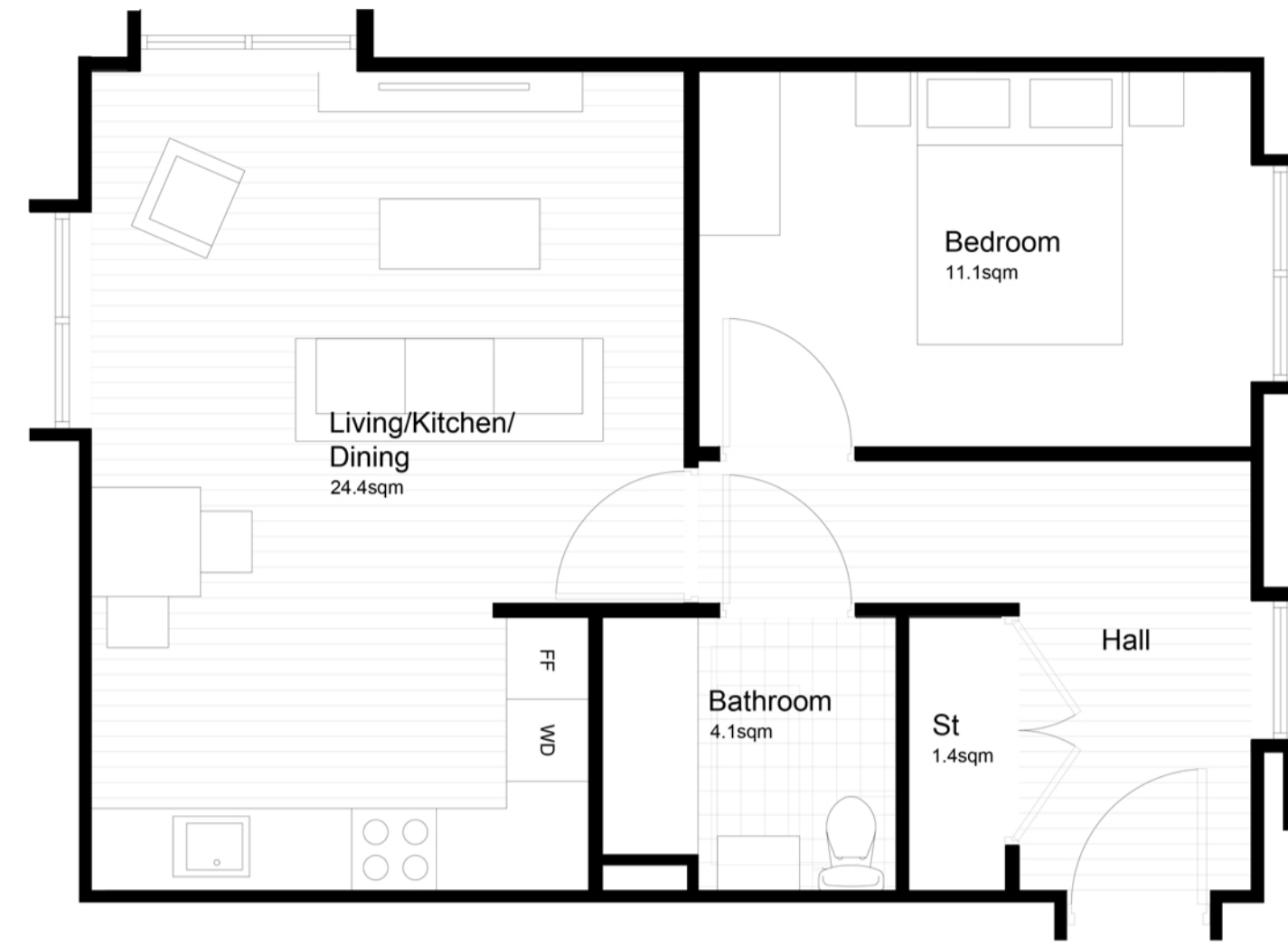
Notes	Revision	Date	By	Chkd	CDM Notes	Project	Drawing	Client
<ul style="list-style-type: none"> Copyright in this drawing remains the property of BM3 Architecture Limited. Do not scale this drawing. Unless for the purposes of verifying or determining any Planning Application. Contractors and consultants are to advise BM3 Architecture Limited of any discrepancies. 						Faseman House	General Arrangement Plans Roof Plan In Context	
Scale	Dated	Job No.	Drawing No.	Drawn by	Checked	CIS/b Element	Revision	
1:200	21.05.24	71809	D13	SM	JJ	Planning	-	



1 Bed Flats

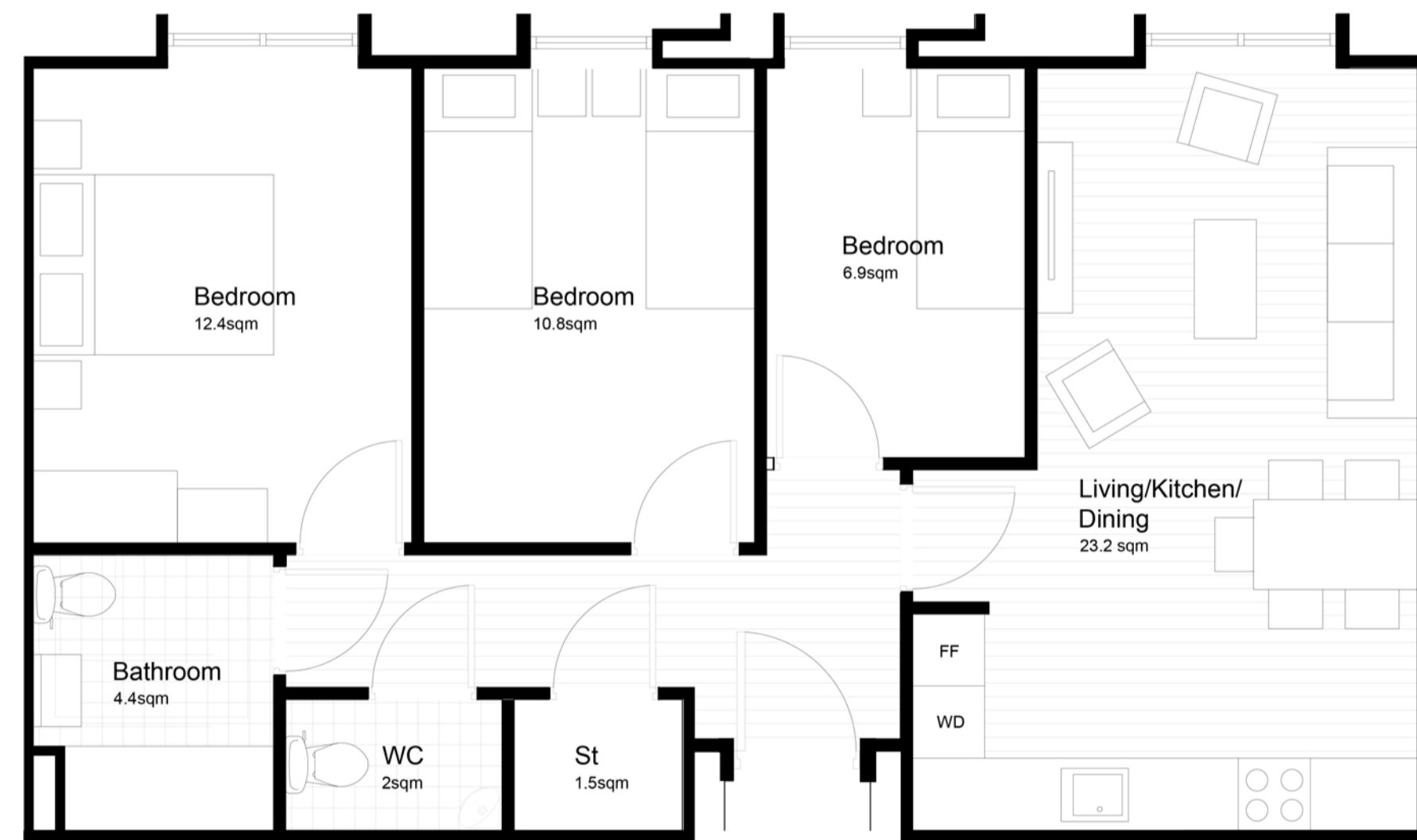


1A
1 Bed 2 Person
43 sqm

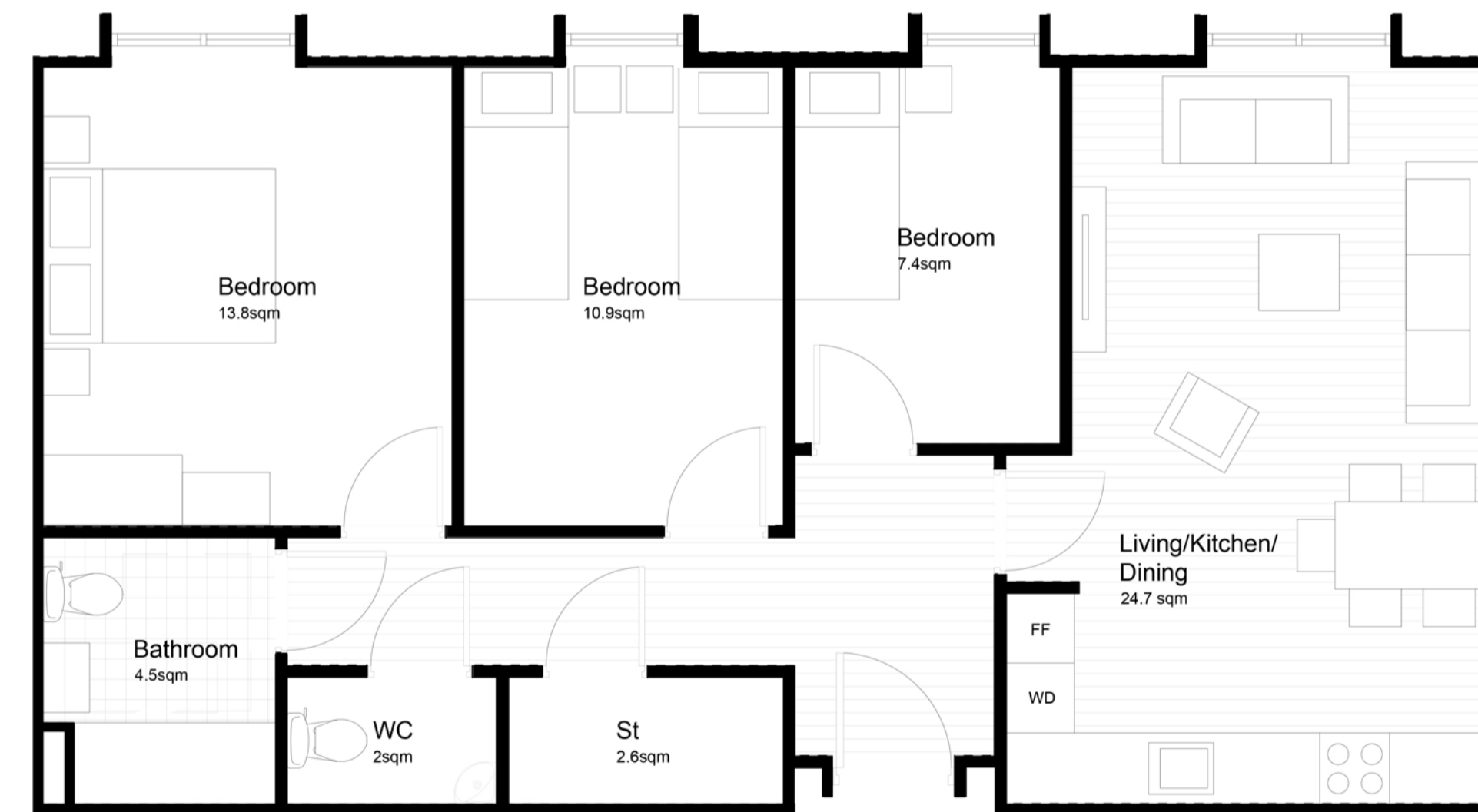


1B
1 Bed 2 Person
50.9 sqm

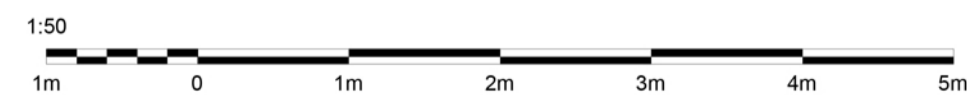
3 Bed Flats



3A
3 Bed 5 Person
73.1 sqm



3B
3 Bed 5 Person
78.3 sqm



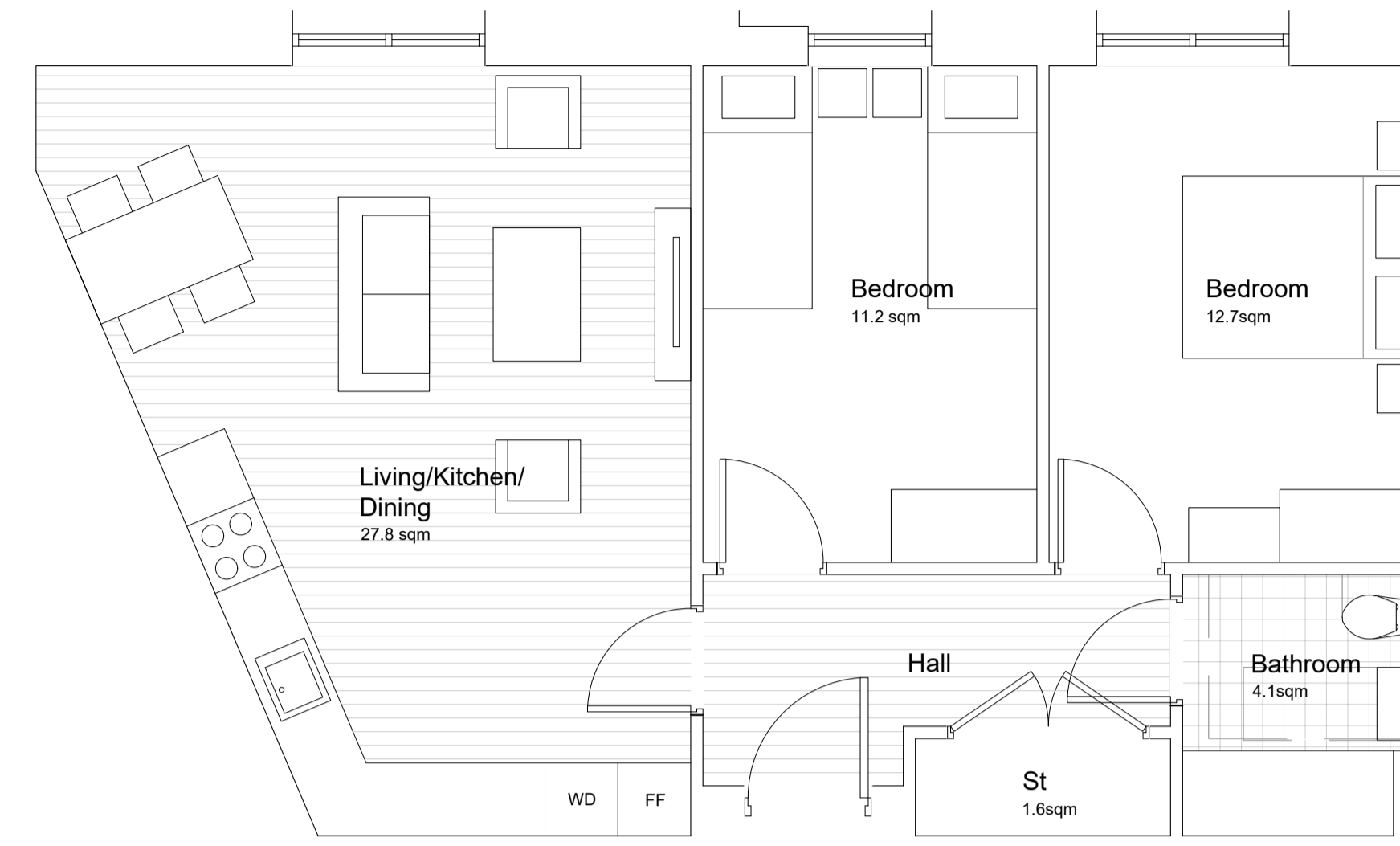
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						Scale 1:50 @ A1	Dated April 2024	Job No. 71809	Drawing No. D16	Drawn by SM	Checked JJ



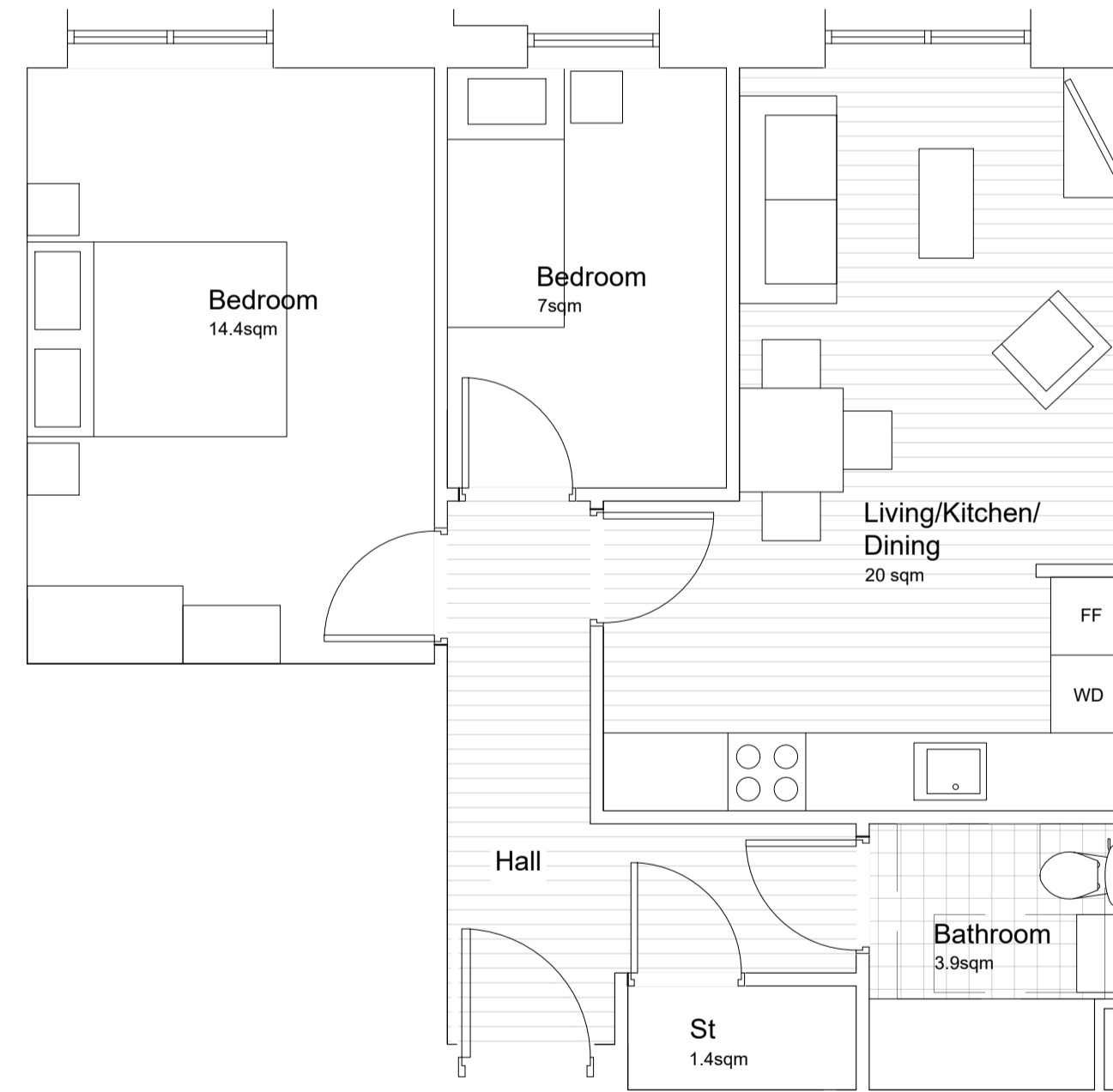
2 Bed Flats



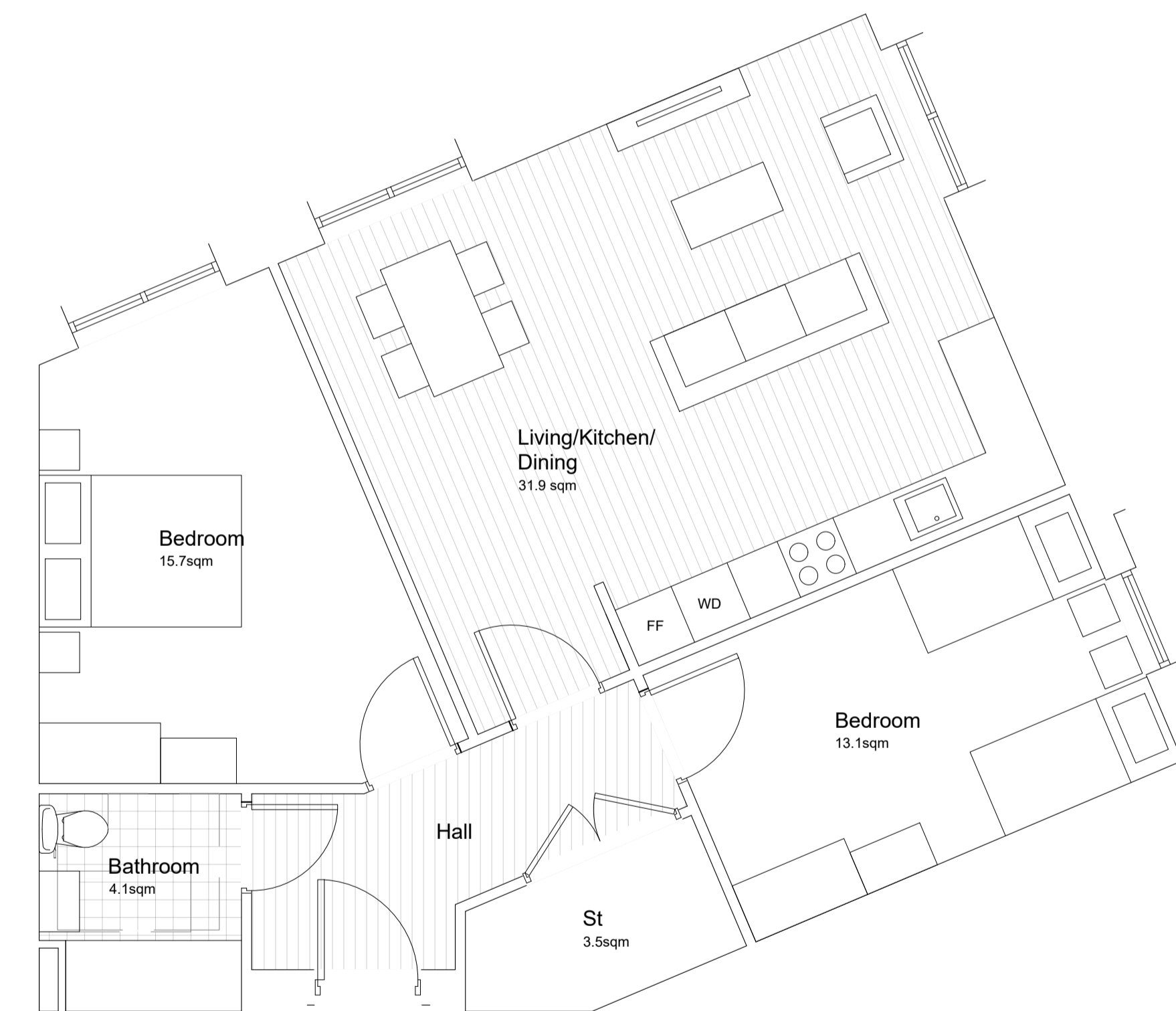
2A
2 Bed 4 Person
60.5 sqm



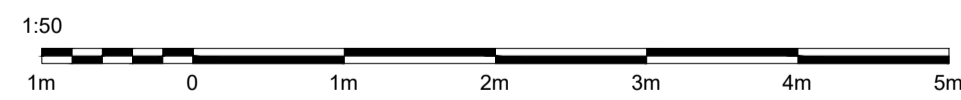
2B
2 Bed 4 Person
66.1 sqm



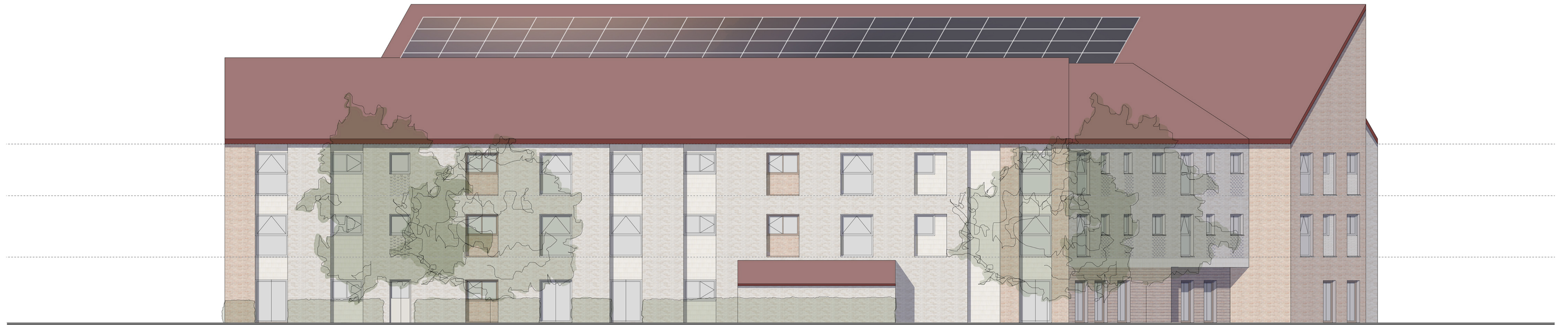
2C
2 Bed 3 Person
55.8 sqm



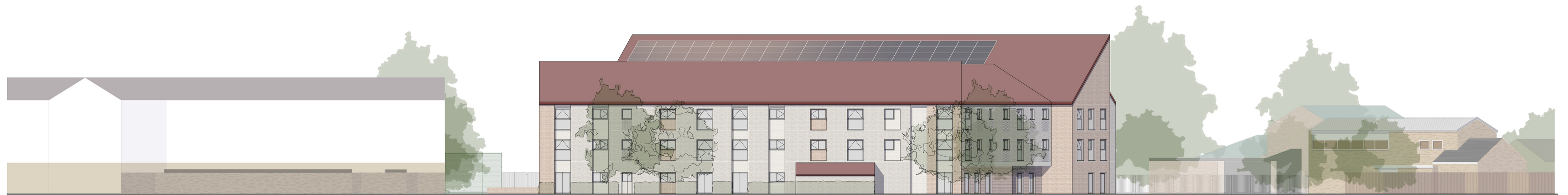
2D
2 Bed 4 Person
77.4 sqm



Notes	Revision	Date	By	Chkd	CDM Notes	Project	Drawing	Client
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Scale	Dated	Job No.	Drawing No.	Drawn by	Checked	CISb Element	Revision	
1:50 @ A1	April 2024	71809	D17	SM	JJ	Planning	-	



East Elevation
As Proposed
1:100



East Elevation
In context
1:200

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		16.08.24	SM	JJ		Scale Varies@A1	Dated April 2024	Job No. 71809	Drawing No. D25	Drawn by SM	Checked JJ
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North Elevation
As Proposed
1:100



North Elevation
In context
1:200

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						Scale Varies@A1	Dated April 2024	Job No. 71809	Drawing No. D26	Drawn by SM	Checked JJ



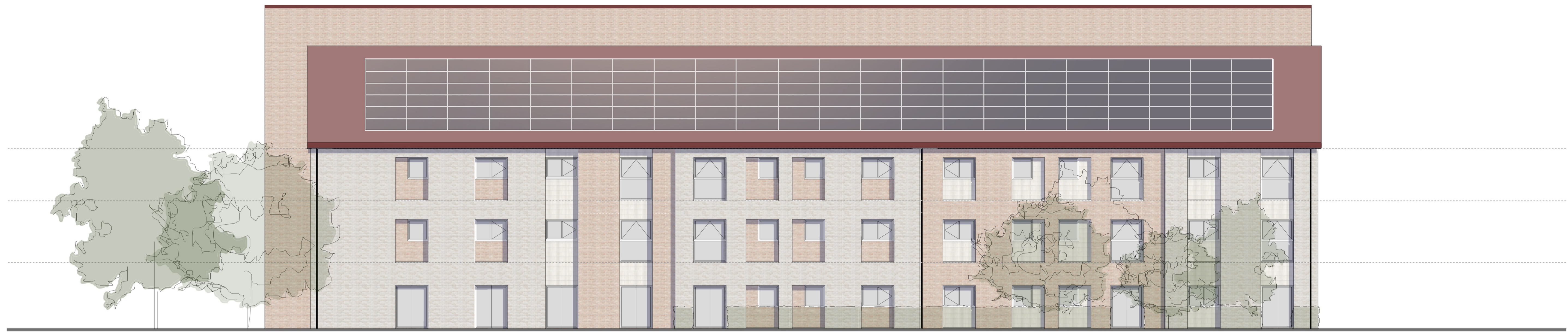


South Elevation
As Proposed
1:100

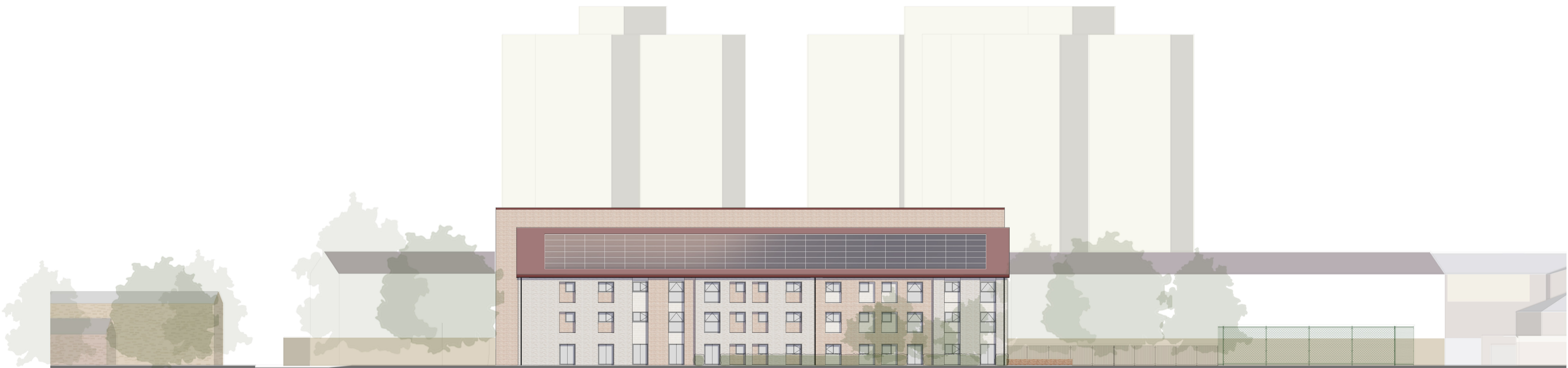


South Elevation
In Context
1:200

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									Scale Varies@A1	Dated July 2024	Job No. 71809	Drawing No. D27



West Elevation
As Proposed
1:100



West Elevation
In Context
1:200

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						Scale Varies@A1	Dated July 2024	Job No. 71809	Drawing No. D28	Drawn by SM	Checked JJ
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